



### 200' CERTIFIED PROPERTY OWNERS LIST

Block	Lot	Businer	Locations	Dwee	Multing Address	City, State	6.0
1003	-		PARAME	PHOENIX CONSULTANTS INC	HATT PROSPECT STREET	EWINGHU	0000
1003	-	-	STERO-FASE	COMMUNICACI	STEROOM .	PRINCETONIAL	2004
1965	-	-	AN EVEC HAVE	DEC 00 AUG	AS BISCHARE	PRINCETONINI	200
0005		-	AN ERROH PAS	STEPHENS LATLEUR	A4 BROOKING	PRINCETONIAL	8854
0000		-	NA HOURS OF	Y JACKS A MARK U	F NORTON AVE	HISHTSTOWN PU	Besi
		-	SCHOOL SALE	PLUMBER & MARK U	TASKISH KHI	HIGHTSTOWN NU	660
1335			STREET HE	MALESSARY JOSEPH & KETHERIN	SO BUTCH ANTINUT	MINISTERNA III	500
890			A BOTTO AND	BOOK CAD C. B	NA NECE AND	PROCESSAN	100
eser.	į,		SH BROWNS	POINTHEE A	DERECKAN	PORCE TO A SALE	1004
6305			SC SPICK AVE	BROWNING AND THE BROWNING HARM	NAMES AND	PRINCETORIU	100
8000	1		DO SINCH AVE	MAY YOUR BY JANK TER & BHARON MC HEGH	H BROWNS	PRINCETORIO	
990	r		O BROLLING	MONOMAN COM	DIAL PRINCIPLE PART	LOWENCE CLUE NO	200
	ŗ.		N BOOK INC.	ECONOMIC COME	ROSCHANIC CONTRACT	NACES AND	6654
8905			B BROKES		NORDANE NECESSION DE	PRINCETONIU	1654
	16			BROHREAUTY GO ZETTLER			
100			000 JCHN 17	TOWNSHIP OF PRINCETON	HIS WITHERSPECK STREET	PRINCETONINU	0654
	Na.		100 JCHN 12*	TOURSELF OF PROCETON	HE WITH REPORT STREET	PERCETORING	0654
	100		STREET, AVE	SERVICENCE	SIGN GUARRISHESE ROAD	HARESTRA	SHET
945	24		ET BHICH AVE	SCHOBREFELS VALUER	SCHOOL SE	PERCETONING	CATA
9002	0		ELSO BRICH AVE	SPSUDJA WARY	HAR WARS ELVO	PRINTERS SELECTION	3343
1000	12		RESPONSE	NORS STAND-LIRCH OF GOD IN CHRIST	AN ENCHANGE	PRINCETONING	8054
1000	1131		RESPONSE	NORWELL STAT CHESCH	AS ERCHOVE	PRINCETONIAL	8654
1000	50		ELECTRIC STATE	NORTH THE DESIGN	RESIDENCE OF THE PERSON SERVICE AND ADDRESS OF THE PERSON SERVICE AND ADDR	PRINCETONIAL	1004
WX:	-5		STATES AND STATES	NORME THE OWNER	ALEKO AVE	PRINCETONIAL	1004
W.	15		SEROIANE	MEMBEZ GENANO	SESSICILIARE	PRINCETONIAL	1004
900	17		SHERCHARE	BY BRICK U.S DIG COLLEGE GOOGHIS	F CONSTITUTION HULE	PRINCETONIAL	1004
1901	No.		241099 6	ALLIGOR PRANCES	1900 DUDPHATEM.	MESOURE TX	7514
1001	20		PERCHASE	BY BROWLLO	ET OPECH AND	PERCETORN	854
neci	14		D BROLESE	EBEL EUDHOETH LOOK & LINUMANN	BS STOWN BROOK LANE	PENCETONIN	1654
NO.			C MPLANTS	products on tropping in	yr new yr non.	PROBLEMAN	poset.
80	-	-	TRIFERANT	PRICE NATION CA PROJECTS NO MORE	TO IT REPORT AND LINE	PRINCETON	THE R.
983	- 2		NECH SEE	ENROLLIC	BITLANT DI	PRINCETONIN	THE R.
900			NU SHA INTO PERSONNE ST	HARROS HARROST GAMA IN	200 MO-60000000 67	PRINCETONING	1954
960			MI WITHERSPOON ST	FERGUSON BRENTA & EUZHOETH	PO 804 6052	LAWFENCEVILLE NO	innat
900			NEWTHERSPOON ST	DIS WTHERSPOON LLC	Brit LANE DR	SOME STORY IN	16541
1903			90 WT-685P00H SF	DIS WTHERSPOON LLC	BY LAKE DR	POWER TOWN	00540
1977			MATERIAL ST	DM WTHERSPOORUS	611 LWG 700	PORCE OF NO	Person
HCI.			OI NO EXPORES	SE VITHERIPORILIC	ET LINE DE	PERCEPONING	00040
10			BOSET WITH PROPERTY AT	SEC NUMBER OF THE	#11 LWEST	BERTHANNE ST	Cellas
90			SI AND MINISTRODUST	PELLOWER REPORT LC	BIT CARE OR	PERCETONIA	Callan
							ERIAS ERIAS
90			90-285 WTHERSPOOK ST	SACH REVENUY	SS WTHERSPOON ST	PERCETORIAL	
B			99 WITHERSPOON ST	MASSELLI ANTHONY J	200 WTHERSPOON ST		68642
-92			00 WTHERSPOON ST	BOD AVTHERSPOON STILLD	HSS WITHERSPOON ST		66640
192			05-367 NYTHERSPOON ST	COMMUNITY OPTIONS ENTERPRISE INC	365-307 W/THERSPOON ST	PRINCETONIAL	86540
192			11 WTHERSPOON ST	COPPESE MICHAEL R & ANGELA	BE COUNTY FO 518	PRINCETONIAL	66540
100	15	-	15-291 NVD-6285POOH SF	IF WTHERSPOON PROPERTIES LLC & JRH	DEL MATHEMATICAL ST. #105	PRINCETONIAL	86540

#### NOTICE TO APPLICANTS

Dates	Telephone:	Garc	Gus Fipeline	Water	Catal TV:	Seven
Public Service Electric Richard Franklin Mage. Corporate Proportion 89 Park Plana T-681 Newark, NJ 87332	Vision William Riggins GSP Engineering ROW Agost 99 West Main Shoot Freshold NJ 67728	Public Service Arte: Ges Managor 80 Park Plans Novark, NJ 07182	Nam Pipe Line L.P. Coronie Chadwick Eight-of-Way Department Microsoft Complex 315 Frictioner Small Staking Spring PA 19988	New Away American Water Operation Atts. Dieme Short 1025 Laund Onk Bd Voodnas, NJ 88643	Comment of Control Arrays II Construction Mage. 30 Randolph Road Sonavast, NJ 08873	Sawar Operating Committee One Manument Driv Princeton NI 08542

TAXETERIES NOTICE, that notice of public harrings on applications for gauge subdivision approvals or gauge size plan approvals must be given by the applicable softiles and cable interviews companies that have no facilities or province a right of very or assessment based within the municipality of which have not with the municipality. Other color properties induced within the color of the color province with 200 for of strategies because, the explores must not will all properties within 200 for or other purposes.

# MINOR SITE PLAN

# PRINCETON PACKET BUILDING 300 WITHERSPOON STREET

BLOCK 6902 LOT 4 SHEET 69.02 PRINCETON, NEW JERSEY

DRAWING LIST TITLE

	1A	COVER SHEET	
	S-1	EXISTING CONDITIONS SU	IRVEY
	2	SITE & UTILITY PLAN	
	3	SITE SECTIONS	
	4	DEMOLITION PLAN	
	5	GRADING & SESC PLAN	
	6	LANDSCAPE & TREE REM	IOVAL PLAN
	7	LIGHTING PLAN	
	8-13	LIGHTING DETAILS	
	14-18	DETAILS	
APPLICANT / C	WNER INFORMA	TION OWNERS CE	RTIFICATION
OWNER/APPLICANT:		I HEREBY CERTIFY THAT I	AM THE PRESENT OWNER OF THE ABOVE NO THAT I CONSENT TO THE FILING OF THE
300 WITHERSPOON LLC		SITE PLAN WITH THE PRIN	
PRINCETON NJ 08540		5/15/2020	Hen 2 My
APPROVALS OF	THE MUNICIPA	LITY	PROPERTY OWNER
THIS PLAN IS HEREBY APPROVED MERCER COUNTY, NJ AS A MINOR	BY THE PRINCETON PLANNING BO R SITE DEVELOPMENT	MAD	
DATE	CHARPERSON	THE COPY OR REUSE OF	O RESOURCES LLC - ALL RIGHTS RESE

(GOOGLE EARTH)

3. BOUNDARY AND TOPOGRAPHIC INFORMATION SHOWN HEREON IS RETERENCED TO A N EXISTING CONDITIONS SHIPPLY PREPARED BY JOHN HANDON, PLS, VS LAND DATA LIC LAST REVISED OCTOBER 2019. ELEVATIONS SHOWN ARE ON THE MANOPAL DATUM NAVOBB. A. THESS FLANS ARE NOT TO BE USED AS SURVEYS. REFER TO REFERENCE SOURCES (NOTE #3 ABOVE) FOR BOUNDARY AND TOPOGRAPHIC INFORMATION.

5. SEE DEVONERING DETAIL SHEETS FOR ALL SITE DETAILS AND SUPPORTING MOTIES. DECISIONED AND SUPPORTING MOTIES. DECISIONED AND SUPPORTING MOTIES. DECISIONED AND SUPPORTING DESTRUCTION DETAILS AND SUPPORTING DESTRUCTIONS. DE REPARRED IN ACCORDANCE WITH THE ROAD PARTIES DESTRUCTION DEVOLUTION DE VOLUTION DE

APPLY.

7. ALL CONSTRUCTION TO BE IN ACCORDANCE WITH THE FINAL CONSTRUCTION PLANS AS APPROVED BY THE MUNICIPAL LAND USE ENGINEER.

A THE PROPERTY OF THE MONTH AND THE PROPERTY OF THE PROPERTY O

10. ALL AREAS WHERE MATURAL YECETATION AND/OR SPECIMEN TREES THAT ARE TO REMAIN SHALL BE PROTECTED BY THE ERECTION OF BLAZE ORANGE SOW FENCE AND NO ISTURBANCE SHALL OCCUR PRICE TO INSPECTION BY THE THE ENGINEER AND WRITTEN JUHNORIZATION TO PROCEED WITH CONSTRUCTION. THESE PROTECTIVE MEASURES SHALL NOT BE ATTERED OR REMOVED WITHOUT APPROVAL OF THE LAND USE ENGINEER.

11. REFER TO TREE REMOVAL PLAN AND LANDSCAPE PLAN (REFER TO RESPECTIVE PLAN SHEETS).

12. THE LOCATION, THE, LINE, SZE, DEPTH, ETC, OF ALL DISSTING UTILITIES, ARE APPROXIMATE, LOCATION OF SERVICE LETHERALS MIST BE EMPED ON THE EDID OF THE CONTRACTION AND AT HIS OWN DEPENSE PHOR TO THE START OF CONSTRUCTION. THE START OF CONSTRUCTION STIES SHAPE TO A START OF CONSTRUCTION STIE SHAPETY, DURING THE CONTRACT OF THE IMPROVALENTS PURSUANT TO NAME 5:28—2.21 PERSONAL.

14. ALTHOUGH NOT PROPOSED AS PART OF THIS PLAN, IF ANY EXTENSION OF THE WATER MAIN IS REQUIRED. THE SPACING AND LOCATION OF HYDRANTS MILL COMPLY WITH THE STANDARDS OF AMERICAN WATER COMPANY AND APPROVED BY THE MUNICIPAL ENGINEER AND FREE PREVENTION OFFICIAL.

15. ANY DRAINDE AND SIRRE EASIMENT FOR PIRILO PURPOSE SHALL BE DEDICATED TO THE MINOPAUTY UNESS OTHERWISE WOTED.

16. MASTER PLAN DESIGNATIONS: WITHERSPOON STREET — PRIMARY ARTERIAL 17. THE PRILOMIT SHALL COMEY WITH ALL THE REQUIREMENTS AND GRIFAN ALLOCATION BERGOR FEDICALS, SERVINGE AUTHORITY ON SERVER OPERATION COMMITTEE AND STONY! No. DESCRIPTION RY DATE

KENSHO RESOURCES LLC

SCALE: 1"=100

360 NASSAU STREET, SECOND FLOOR PRINCETON, NEW JERSEY 08540 PH. (609) 924-1091 FAX. (609) 924-1092



PROJECT:

NEIGHBORHOOD AERIAL MAP

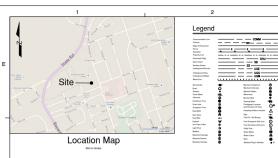
#### MINOR SITE PLAN

300 WITHERSPOON STREET BLOCK 6902 LOT 4 PRINCETON MERCER COUNTY, NEW JERSEY

HEET TITLE:

#### COVER SHEET

SIGNED BY	JC	SHEET NO.
ECKED BY	JC	
ALE	AS NOTED	1Δ
ENAME	COVERDWG	17
B NO.	19012	
TE	5/18/2020	







Site Photo

I confly that, to the best of my knowledge and boiled, this plan is based on a field survey made in July 2016 & October 2015, and the plan is based on a field survey made in July 2016 & October 2015, and the plan of the pl

VS

LAND DATA PO Box 186 PU Box 186 Philipsburg, NJ 08865 P 888.676.4435 F 800.220.6214

Call before you dig

THE PRINCETON PACKET

300 WITHERSPOON STREET BLOCK 6902 LOT 4 PRINCETON MERCER COUNTY NEW JERSEY

John J. Hanlon Professional Land Survey New Jersey License No. 3756 sylvania License No. SU06076



AS SHOWN

SCALE

		REVISIONS
	05-04-2020	MISC. ITEMS
1		

١		
	DRAWN BY	JUH
	APPROVED BY	JUH
	CHECKED BY	KJC

APPROVED BY	JJH
CHECKED BY	KJC
DATE	10-18-2019

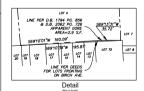
TITLE

**BOUNDARY &** TOPOGRAPHIC SURVEY

S - 1

SHEET NO.

	TREE INVENTORY T	
NO.	COMMON NAME	SPECIES
818	28" LONDON PLANE	PLATANUS X ACERIFOLIA
819	18" BLACK WALNUT	JUSTANS MIGRA
820	44" BLACK WALNUT	JUSTANS NIGRA
821	16" NORWAY SPRUCE	PICEA ABIES
822	24" BLACK DAK	JUGLANS NIGRA
823	14" BLACK DAK	JUGLANS NIGRA
824	28" BLACK DAK	JUSTANS NIGRA
825	24" RED MAPLE	ACER RUBRUM
826	26" TUUP	LIRODENDRON
827	14" BLACK DAK	JUGLANS NIGRA
828	18" BLACK DAK	JUSTANS NIGRA
829	12" BLACK DAK	JUGLANS NIGRA



#### Notes

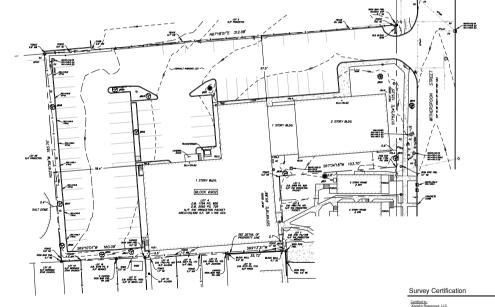
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В

- Subject to the findings of a current title search prepared by Title Village Title Agency, LLC, commitment number TVTA2521 date June 3, 2016.

- A within wwiver and direction not be set conner makens has been obtained from the Limited user pursuant or P. L. 2003. C. 14 (N.J.S. A. 463-9.53) and N.J.A.C. 134-0-5.100 (N.J. 2003. C. 14 (N.J.S. A. 463-9.53) and N.J.A.C. 134-0-5.100 (N.J. 2003. C. 134-0-5.100 (N



Graphic Scale ( IN FEET ) 1 inch = 20 ft.

3

- DRODOCED AT CONCRETE CURR
- PROPOSED CONCRETE DEPRESSED CURE
- 3 PROPOSED CONCRETE SIDEWALK
- 5 PROPOSED CONCRETE PAD

- 8 PROPOSED BIKE RACK
- 9 KNOY BOY INSTALLATION
- 10 PROP. NO PARKING FIRE LANE SIGN & STRIPING
- 11 PROPOSED ELECTRIC VEHICLE (E.V.) PARKING SIGN
- 12 PROPOSED ELECTRIC VEHICLE (E.V.) STALL W/CHARGING
- 13 RELOCATE EXISTING SIGN
- 14 PROPOSED CONCRETE ADA RAMP W/TRUNC. DOMES
- 15 WOOD BOARD-ON-BOARD FENCE 6 FT HIGH (W/GATES)
- 16 2" MILL AND OVERLAY ASPHALT PAVEMENT

- 18 EXIST, MASONRY FREESTANDING SIGN
- 19 PROPOSED STOP SIGN R1-1 AND STOP BAR
- 19g PEDESTRIAN WARNING SIGN W11-2 (AT CROSSWALK)

UNLTY MOTES:

1. THE BULDING MATTER SERVICE SHALL BE NOTIFILED (OR DESCRIPTION OF THE CONTINUED SHALL BE NOTIFICATED SHALL BE CONTINUED SHALL BE SHALL

2. ALL SANTARY SEWER CONSTRUCTION MUST BE COMPLETED IN ACCORDANCE WITH THE RILLES AND REGULATIONS, STANDARD SECOFICATIONS, AND CONSTRUCTION DETAILS OF TOWNSHIP MUNICIPAL UTILLY AUTHORITY. ALL CLEANGUITS SHALL BE INSTALLED AT REGULAR INTERVALS AS REGULARED BY THE PLUMBING CODE INCLUDING ALL CHANGES IN DIRECTION. THE CONTRACTOR STALL COORDINATE DIRECTION THE SEMER CONTINUENT SHALL COORDINATE DIRECTLY WITH THE SEMEN DEPARTMENT AND CHEMA ANY REQUESTION PROPRIOUS, IF ONE DEPARTMENT AND CHEMA ANY REQUESTION CONTINUENT AND DEPARTMENT SHOULD CONTINUE THE CONTINUENT AND DEPARTMENT SHOULD PROVE TO CONSTRUCTION. CONTINUENT AND DEPARTMENT SHOULD PROVE TO CONSTRUCTION. CONTINUENT WITH THE ADDRESS OF THE ANY REQUESTION OF THE CONTINUENT HE PROVIDED THE CONTINUENT AND THE ANY REQUESTION OF THE PROPRIET AND THE ADDRESS OF THE CONTINUENT AND THE ADDRESS OF THE ADD

T DONORORD CAR REDIACES AND ELECTRICAL REDIACES GUALL PROPUSED GAS SERVICES AND ELECTRICAL SERVICES SHAI BE INSTALLED (OR MAINTAINED) IN ACCORDANCE WITH GAS COMPANY AND ELECTRICAL COMPANY REQUIREMENTS AND STANDARDS. THE CONTRACTOR SHALL COORDINATE DIRECTLY WITH THE GAS COMPANY AND AND ELECTRIC COMPANY AND WITH THE GAS COMPANY AND AND ELECTRIC COMPANY AND OBTAIN ANY REQUIRED APPROVALY. FOR MATERIAL SECORGATIONS, INSTALLATION METHODS OR SHOP DRAWNING SPECIFICATIONS, INSTALLATION METHODS OR SHOP DRAWNING TO CONTROL TO CONTROL TO CONTROL OF THE EXISTING LOCATION OF THE EXISTING LOCATION IN THE FELD PROF TO CONSTRUCTION, CONTROL SHALL ALSO CONTROL THE STALL ASSOCIATION OF THE PROPERTY OF SHALL ASSOCIATION OF THE PROPERTY OF SHALL ASSOCIATION OF THE PROPERTY OF SHALL ASSOCIATION OF THE PROPERTY O

4. CONTRACTOR SHALL OBTAIN ANY ROAD OPENING PERMITS OR OTHER REQUIRED APPROVALS PRICK TO ANY WORK WITH THE TOWNSHIP RIGHT-OF-WAY (AND/OR COUNTY OR NOT RIGHT-OF-WAY IF APPLICABLE). THE CONTRACTOR SHALL CONTACT THE MUNICIPAL ENGINEER PRIOR TO ANY

6. ANY ROADWAY PAVEMENT, CURB OR SIDEWALK DISTURBED TO ACHEVE THE INCESSARY UTILITY CONNECTIONS SHALL BE TO ACHEVE THE INCESSARY UTILITY CONNECTIONS SHALL BE AND SPECIFICATIONS OF THE MAINTDAM OF OTHER ACENCES OF JURISDICTION SPECIFICATION OF THE ACENCE ACENCES OF JURISDICTION SPECIFICATION OF THE ACENCE (COUNTY, AND/OR HADO'T IF APPLICABLE) SHALL BE OSTANDED PROR'T DAYN'ROAD OPPOINT OR ROADMAY DISTURBANCE.

THE CONTRACTOR SHALL CONFIRM ALL UTILITY CONNECTION SIZES, LOCATIONS AND REQUIRED SIZED FROM THE ARCHITECT, AND MEP ENGINEER AND UTILITY OF JURISDICTION PRIOR TO UTILITY CONNECTION AND/OR CONSTRUCTION.

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#### SIGN COMPLIANCE

FREESTANDING (8-1) DISTRICT

HDCHT 8 FT MAX. 3.4 FT HICH (EXISTING/PROPOSED)
AREA 10 SF MAX. 10 SF MAX. (EXISTING/PROPOSED)
3 FT MIN. SETBACK FROM ROW 10 SF (EXISTING/PROPOSED)
(ENC OR PRE-EXISTING NON-CONFORMING CONDITION)

ALL SIGN AREA DETAILS SHALL CONFORM TO ORDINANCE REQUIREMENTS
(REFER TO PRESTANDING SIGN DETAIL ON DETAIL SHEET)

EXEMPT NAMEPLATE SIGN (B-1) DISTRICT PER ORD 10B-294(a)2 BUILDING ADDRESS NAMEPLATE AREA : AS OF RIGHT 2 SF MAX. < 2 SF PROPOSED

SIGN SHALL COMPLY WITH ORD. SEC. 108-297 FOR FREESTANDING AND EXEMPT SIGNS

#### PARKING SUMMARY

USE	FACTOR	GSF	REQUIRED	PROVIDED
BUSINESS/OFFICE (EXISTING BLDG)	1/200 SF	15,434 SF -1st FI 4,346 SF -2nd FI	99 SPACES	
BUSINESS/OFFICE (NEW FLOOR AREA)	1/200 SF	6,137 SF -2nd FI	31 SPACES	
TOTAL:	25,917 SF		130 SPACES	63 SPACES (VARIANCE)+

[DOSTING PARKING SPACES - 62 STALLS; PROPOSED PARKING STALLS - 63 STALLS]

THE PROPOSED BUILDING FOOTPRINT SHOWN ON THIS PLAN REFERENCES THE ARCHITECTURAL PLAN, PREPARED BY EMMANUEL GREEKA JAIA AND SURVEY PLAN PREPARED BY JOHN HAHLON PLS, VS DIMENSIONS. C. REPER TO LATEST VERSIONS OF THESE PLANS FOR ALL BUILDING AND EXISTING STEE DIMENSIONS.

#### ZONING REQUIREMENTS

ITEM	REQUIRED	EXISTING	PROPOSED	COMPLIANCE
ZONING DISTRICT		BUSINESS B-	1	
MIN. LOT AREA	4,356 S.F.	50,499 S.F.	50,499 S.F.	-
MIN. LOT WOTH	50 FT	125.2 FT	125.2 FT	-
MIN. LOT DEPTH	50 FT	301.5 FT	301.5 FT	-
MIN. LOT FRONTAGE	50 FT	125.2 FT	125.2 FT	-
PRINCIPAL BUILDING SETBACKS				
MIN. FRONT YARD SETBACK	10 FT	5.6 FT	5.6 FT	ENC
MIN. SIDE YARD SETBACK	NA.	2.7 FT	2.7 FT	-
MIN. REAR YARD SETBACK	15	78.4 FT	6.3 FT [1]	•
MAX. BLDG. HEIGHT [2]	30 FT	26.7 FT	26.7 FT	-
MAX. FLOOR AREA RATIO [3]	0.60	0.39	0.51	-
PARKING SETBACK (FRONT)	10 FT	12.6 FT	30.4 FT	-

### MATER

- (ENC) INDICATES A PRE-EXISTING NON-CONFORMING CONDITION
  (\*) NDICATES A VARIANCE IS REQUESTED FOR THE ITEM.
  (-) INDICATES THAT THE ITEM CONFORMS.
- (-) BULAILES TO PROPOSED IN THE INDUCTIONS ENCLOSURE SETBACK WHERE PROPOSED IS 6.3 FT AND 15.0 FT IS RED'D. (SEC. 106–246)

  [2] BULDING HIGHET 25.7 FT 6ASED ON AVERAGE GRADE OF E. 153.6 AND 1071A. HEIGHT 07: 25.7 ABOVE FF 154.6

  [3] EXISTING 65F 19,780 95: PROPOSED GSF 25,917 SF

SEC. 108-282 PARKING WHERE 130 STALLS ARE REQUIRED, 62 STALLS EXIST AND A TOTAL OF 63 STALLS ARE TO BE PROVIDED.

OTHER PRE-EXISTING NON-CONFORMING CONDITIONS

SEC 108-307 LANDSCAPE BUFFER WIDTH - WHERE EXISTING AND PROPOSED BUFFER STRP BETWEEN SEVERAL ADJACENT RESIDENTIAL LOTS AND THE EXISTING PARKING AREA IS 8.4 FT MIN. AND WHERE THE EXISTING BUILDING IS 2.7 FT FROM ADJACENT THE RESIDENTIAL LOT (I.E. LESS THAN 50 FT). (PRE-EXISTING

SEC 108-289(a) SHADE TREES & LANDSCAPING FOR PARKING AREA SHADE TREES WHERE I SHADE TREE PER 3.4 STALLS IS REQUIRED, NOTING THAT 10 TREES EXIST AND TREES ARE PROPOSED TO MAINTAIN THE EXISTING CONDITION. (PRE-EXISTING NON-CONFORMING CONDITION)



360 NASSAU STREET, SECOND FLOOR PRINCETON, NEW JERSEY 08540 PH. (609) 924-1091 FAX. (609) 924-1092



PROJECT

#### MINOR SITE PLAN

300 WITHERSPOON STREET BLOCK 6902 LOT 4 PRINCETON

MERCER COUNTY, NEW JERSEY

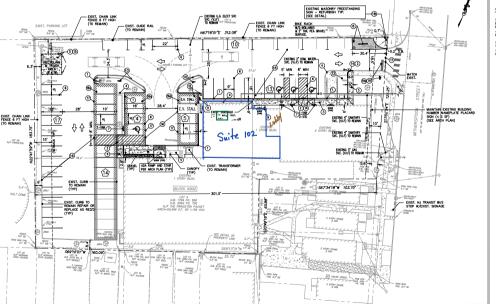
SITE / UTILITY PLAN

DESIGNED BY	JC	SHEET NO.		
CHECKED BY	JC			
SCALE	AS NOTED	2		
FILENAME	SITE.DWG	<del>-</del>		
JOB NO.	19012			
DATE	5/18/2020			

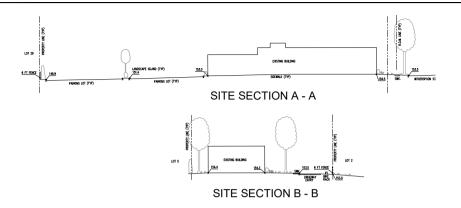
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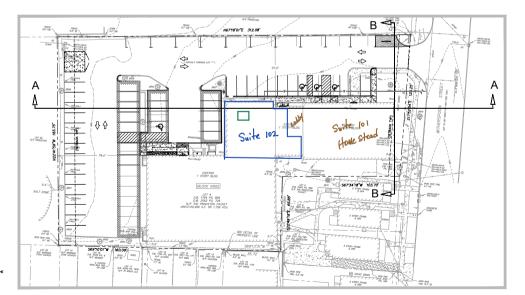
REFER TO ARCHITECTURAL PLAN TO CONFIRM AND COORDINATE ALL DIMENSIONS FOR THE BUILDING AND ANCILLARY BUILDING IMPROVEMENTS PRIOR TO ANY STAKE-OUT AND CONSTRUCTION ACTIVITIES.

3. ALL PAYEMENT THAT IS DISTURBED FOR UTILITY AND CURB INSTALLATION ON THE PROPERTY SHALL BE FIRST BE SAMOUT AND ULTIMATELY RESTORED WITH FULL DEPTH ASPHALT PAYING PROF. TO MILL AND OVERLAY OPERATIONS AS THE PLAN REQUIRES. MAY OTHER UNITED AREAS OF COUPROMISED EXISTING PAYEMENT SHALL BE REMOVED AND REPLACED PRIOR TO MILL AND OVERLAY OPERATIONS.



SITE / UTILITY PLAN







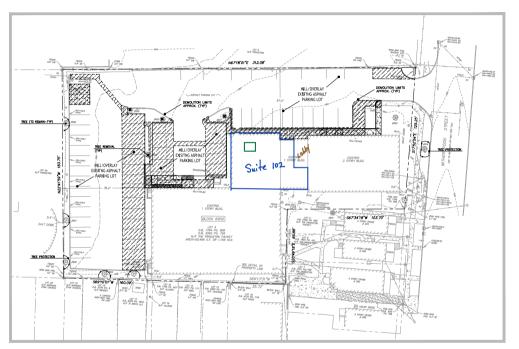
19012

5/18/2020

JOB NO.

DATE

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DEMOLITION PLAN

DEMOLITION NOTE

 THE ONLY PURPOSE OF THIS PLAN TO OUTLINE WHICH EXISTING SITE IMPROVEMENTS ARE PROPOSED TO BE REMOVED FROM THE SITE IN ORDER TO FACILITATE THE REHABILITATION OF THE EXISTING BUILDING.

2. THE CONTRACTOR IS RESPONSIBLE FOR PLANNING AND IMPLEMENTING ALL NECESSARY SITE SAFETY PRECAUTIONS AND OSHA COMPLIANCE REQUIREMENTS AS PART OF THE DEMOLITION ACTIVITIES IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL REGULATIONS.

 CONTRACTOR SHALL OBTAIN THE NECESSARY MUNICIPAL DEMOLITION PERMIT FROM THE TOWN AND COMPLY WITH MUNICIPAL REQUIREMENTS. CONTRACTOR SHALL TEMPORARILY RESTORE ARE/ WITHIN THE RIGHT OF WAY AS REQUIRED BY THE MUNICIPALITY.

 CONTRACTOR IS TO REMOVE EXISTING BUILDING, FOUNDATIONS SIDEWALKS, CURBS ETC. AND DISPOSE OF ALL MATERIALS PROPE IN ACCORDANCE WITH LOCAL AND STATE REGULATIONS.

 CONTRACTOR SHALL CUT AND CAP OR OTHERWISE SAFELY TERMINATE ALL EXISTING UNITIES PER EACH UTILITY SPECIFICATIONS. MARK UNDERGROUND UTILITIES WITH STAKES. CONTRACTOR SHALL COORDINATE WITH ALL UTILITIES PRIOR TO DEPAY TOWN.

 CONTRACTOR SHALL BE SURE TO INSTALL AND MAINTAIN SECURED TEMPORARY CHAIN LINK SAFETY FENCING AROUND THE PERIMETER OF THE PROJECT WITH APPROPRIATE SAFETY SIGNAGE AS REQUIRED BY THE MUNICIPALITY AND ALL OTHER REGULATIONS.





360 NASSAU STREET, SECOND FLOOR PRINCETON, NEW JERSEY 08540 PH. (609) 924-1091 FAX. (609) 924-1092



PROJECT:

#### MINOR SITE PLAN

300 WITHERSPOON STREET BLOCK 6902 LOT 4 PRINCETON MERCER COUNTY, NEW JERSEY

MERCER COUNTY, NEW JE

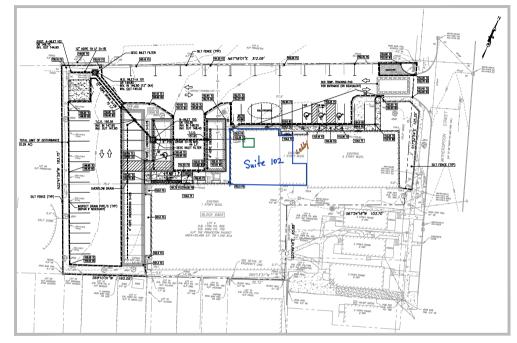
### DEMOLITION PLAN

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CHECKED BY	JC	1
SCALE	AS NOTED	1
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JOB NO.	19012	1
DATE	E /10 /2020	1

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#### STORM WATER MANAGEMENT MAINTENANCE SCHEDULE

- 1. SEMI-ANNUALLY THE OWNER SHALL INSPECT THE INTEGRITY AND FUNCTIONALITY OF THE STORM WATER COLLECTION INLET/S. ANY ACCUMULATED DEBRIS SHALL BE REMOVED (IF REQUIRED).
- 2. ADMINISTLY PERMONE PAYMENT SYSTEM SHALL BE VISUALLY INSPECTED FROM GRADE FOR PROPER FUNCTIONALITY. ANY DEBRIS IF ORSERVED SHALL BE REMOVED, ANY NECESSARY REPAIRS TO THE
- 3. MAINTAIN A RECORD/LOG OF MAINTENANCE INSPECTIONS & PROCEDURES



### GRADING & SESC PLAN

- 1. SOL BROSON AND SEDMENT CONTROL MEASURES SHALL BE MELEMENTED IN ACCORDANCE WITH THE NEW JERSEY STANDARDS FOR SOIL BROSON AND SEDMENT CONTROL AND SOIL CONSERVATION DISTRICT.
  THE CONTRACTOR SHALL GREAM PREPOVAL FROM THE SUSCE PRIOR TO NAY SITE DISTRIBUTION.
- 2. REFER TO DETAIL SHEET FOR SESC DETAILS, NOTES AND SPECIFICATIONS
- 3. THE MAINTENANCE OF PERMANENT SOIL EROSION AND SEDIMENT CONTROL MEASURES ON THE PROPERTY IS THE RESPONSIBILITY OF THE PROPERTY OWNER AND SHALL BE MAINTAINED BY THE PROPERTY OWNER.
- 4. THIS PLAN IS FOR THE PURPOSE OF PROVIDING SOL EROSION AND SEDIMENT CONTROL MEASURES ONLY. ANY DEMOLITION, CONSTRUCTION OR SITE MODIFICATION ACTIVITIES SHALL BE PERFORMED IN ACCORDANCE WITH ANY INCESSARY PERMITS/APPROVALS REQUIRED FROM ALL AGENCIES OF JURISDICTION AND THEIR REQUIREMENTS. THIS INCLIDES BUT IS NOT LIMITED TO DEMOLITION PERMITS, GRADING PERMITS.
- 5. THE SITE SHALL BE PROTECTED WITH SOIL EROSION AND SEDIMENT CONTROL MEASURES PRIOR TO AND IMMEDIATE TO SOIL DISTURBANCE ON THE SITE.
- 6. THE USDA SQUI, SURVEY CLASSIFIES THE STIE SOILS AS UMBB AND ABSENCE OF HIGHLY ACID OR ERODIBLE SOILS. THESE CONDITIONS SHALL BE CLARIFIED AND CONFIRMED BY THE CONTRACTOR PRIOR TO CONSTRUCTION OF THE REM BUILDING.

GRADING AND DRAINAGE NOTES

1. MAINTAIN EXISTING ROOF LEADER DRAINS AND DRAINAGE PATHS AS APPROPRIATE.

ALL CLEANOUTS AND/OR STORM DRAIN ACCESS POINTS IN PAVEMENT AREAS SHALL BE TRAFFIC RATED INSTALLED IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS AND CODE

3. ALL FINAL GRADING SHALL BE PERFORMED IN ACCORDANCE WITH THE NEW JERSEY STANDARDS FOR SOIL EROSION AND SEDMENT CONTROL AND STANDARD CONSTRUCTION PRACTICE. SURFACE DRANAGE SHALL BE PERFORMED TO DIRECT WATER AWAY FROM STRUCTURES TO COMPLY WITH LOCAL CODE.

4. THE CONTRACTOR SHALL PERFORM CONTROLLED COMPACTION MEASURES DURING BACKELL OPERATIONS IN LET'S OF APPROXIMATELY 12" OR AS SOIL MATERIAL CONDITIONS PERMIT IN ORDER TO ACHEVE 90% COMPACTION IN LANDSCAPE AREAS THROUGHOUT THE SITE. SOILS UNDER PAYED AREAS SHALL BE COMPACTED TO 96% MODIFIED PROCTOR DENSITY.

SURFACE SOILS IN LANDSCAPE AREAS SHALL BE SCARIFIED OR TILLED PRIOR TO FINAL

PROPOSED IMPERMOUS COVERAGE CALCULATION INCLUDES UP TO 175 SF OF IMPERMOUS COVERAGE FOR THE ELECTRIC TRANSFORMER AREA OF THE PLAN (IF REQUIRED).

#### STORMWATER MGT. STATEMENT

THE PROJECT IS A MINOR STORM WATER PROJECT AS THE PROJECT DOES NOT PROPOSE NEW IMPERVIOUS COVERAGE GREATER THAN THE EXISTING IMPERVIOUS COVERAGE (C400 OF NEW IMPERVIOUS) AND THUS DOES NOT DECEED THE THESHOUS FOR A MAJOR STORM NEW IMPERIOUS) AND THUS DOES NOT EXCELL THE THRESHOLDS FOR A MAJOR STORM WATER PROJECT AS THE NEW IMPERIOUS 23 SF LESS THAN PROPOSED (<5,000 SF) AND PROPOSES ONLY 0.29 AC (OR 12,820 SF) OF DISTURBANCE, WHICH IS LESS THAN 0.5

AS A BONUS STORM WATER ENHANCEMENT TO THE EXISTING SITE, PERVIOUS PAVENENT IS PROPOSED FOR 23 OF THE 63 TOTAL PARKING STALLS (FOR 4,446 SF). REFER TO PERMOUS PAVEMENT DETAILS AND CALCULATIONS ON SHEET 18

EXISTING IMPERVIOUS COVERAGE

REDUCTION IN IMPERVIOUS, COVERAGE [-23 SF], (<400 SF & < 5,000 SF)

#### IMPERVIOUS COVERAGE CALCULATION

TOTAL \*\* \*\*\* \*\* REDUCTION IN IMPERVIOUS COVERAGE: -23 SF

DESCRIPTION DATE KENSHO RESOURCES LLC

360 NASSAU STREET, SECOND FLOOR PRINCETON, NEW JERSEY 08540 PH. (609) 924-1091 FAX. (609) 924-1092

PROJECT

#### MINOR SITE PLAN

300 WITHERSPOON STREET BLOCK 6902 LOT 4 PRINCETON

MERCER COUNTY, NEW JERSEY **LEGEND** 

DATE



Scale 1 in = 20 ft

### GRADING & SESC PLAN

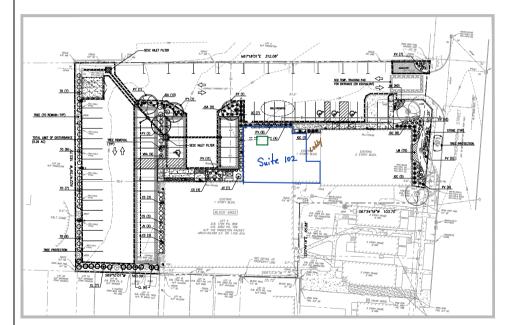
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### PLANT SCHEDULE

Code	Botanical Name	Common Name	Qty.	Planted Size	Comments
Perennials					
LM	Liriope muscari 'Big Blue'	Lily Turf 'Big Blue'	130	Qt.	Evergreen Groundcover (12" O.C.)
PV	Panicum virgatum 'Ruby Ribons'	Switchgrass	51	1/2 gal.	Perennial Grass
Shrubs					
JSA	Juniperus sabina 'Arcadia'	Arcada Junper	22	#1 Cont.	Evergreen
VRA*	Viburnum x rhytidophylloides Sur. 'Allegharry'	Alleghany' Vibumam	9	#5 Cont. (24"-30")	Semi Evergreen
IGC*	Illex glabra 'Compacta'	Compact Inkberry Holly	27	18"-24"	Evergreen
CS*	Comus sercea	Red Osier Dogwood	22	18"-24"	Deciduous Shrub, Red Stems
Trees					
то	Thuis occidentalis	American Arbovitae	28	4-6'	Evergreen Columnar
JV+	Juniperus virginiena	Eastern Red Cedar	5	4-6'	Evergreen
CL	Cupressocyparis leylandii	Leland Cyress	13	4-6"	Evergreen Columnar
PY	Prunus x yedoensis	Yoshino Cherry	4	2 - 2.5"	Ornamental, White Flowers

(\*) Denotes native species.





### LANDSCAPE & TREE REMOVAL PLAN

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#### LANDSCAPING PLAN NOTES:

- 1. REFER TO DETAIL SHEET FOR LANDSCAPING CONSTRUCTION DETAILS, NOTES AND REQUIREMENTS.

3. NO TROPIC SHALL BE REDURD FROM THE SITE OF HEED AS FLL. TROPIC WORD DEARN, THE COLUSES OF CONSTRUCTION HALL BE STOCKNED TO RESISTENCIATE OF REGISTENCIATE OF

4. REMOVAL OF DEBRIS: ALL STUMPS AND OTHER TREE PARTS, LITTER, BRUSH, WEEDS AND EXCESS OR SCRAP BUILDING MATERIALS OR OTHER DEBRIS SHALL BE REMOVED FROM THE SITE AND PROPERLY DISPOSED OF IN ACCORDANCE WITH LOCAL AND STATE REGULATIONS. 5. ALL AREAS OF THE GROUND SURFACE NOT COVERED BY BUILDINGS, PARKING LOTS, DRIVES, OTHER HARD SURFACES, OR SHRUB AND TREE LANDSCAPE AREAS AS SPECIFIED ON THE LANDSCAPE FLAN SHALL BE FILLY STARLIZED BY THE PLANTING OF GRASS OR OTHER GROUNDCOVER. LAWN PROPOSED FOR AREA WITHIN

6. DICCUSS TREES SHALL HANK, CODEST OF 2.5" CAL, AT THE THE OF INSTALLATION LIVESS OTHERWISE WIDED ON THE FAAL. OTHER SHRIESS AND CHRISTEN THESE SHALL BE INSTALLED AN ACCESSIONS WITH IN SEX BECOMMENTED RECORDS THE REATHER OPERATEL, ONLY MINESTAY FROM PLANT MATERIAL IS ACCEPTABLE. DEAD OF DYNIG TREES OF SHAUES SHALL BE REPLACED DURING THE FOLLOWING PLANTING SEASON AND GUARANTEED BY THE LAMBOSAFE CONTRACTOR FOR A PERSON OF (1) YEAR.

7. APPROXIMATE EXISTING MAX. PERIMETER TREE CANOPY HEIGHT 60-80 FT HEIGHT (DECIDIOUS).

1. THE PROPERTY OWNER OR THEIR REPRESENTATIVE IS RESPONSIBLE FOR OBTAINING A MUNICIPAL TREE REMOVAL PERMIT AS REQUIRED PRIOR TO MAY CONSTRUCTION. THE PROPERTY OWNER SHALL PROVIDE ANY REQUIRED REPLACEMENT TREES IN ACCORDANCE WITH TOWN REQUIREMENTS. THE LOCATION OF SAID TREES IS TO BE DETERMINED IN CONFERENCE WITH THE TOWN ARBORIST. TREES SHALL BE INSTALLED PRIOR TO FRAIL CO.

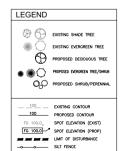
3. COMPENSATION TREES FOR TREES REMOVED SHALL BE REPLANTED AS REQUIRED IN ACCORDANCE WITH MUNICIPAL REQUIREMENTS AND THE AMERICAN ASSOCIATION OF NURSERYMAN STANDARDS AND SPECIFICATIONS. 4. TREE PROTECTION FENCING SHALL BE UTILIZED FOR ALL EXISTING TREES TO REMAIN ON THE PROPERTY PER PLAN. (SEE DETAIL) TREE PROTECTION FENCING SHALL CONSIST OF 4" HIGH WOODEN FENCE WITH DRIVEN POSTS 6" O.C.

#### TREE REMOVAL SUMMARY

	TREE INVENTORY	TABLE	(REMOVE/REMAIN)	REPLACEMENT TREES REQ'D	
NO.	COMMON NAME	SPECIES	(REMOVE/REMAIN)		
818	28" LONDON PLANE	PLATANUS X ACERIFOLIA	(REMAIN)		
819	18" BLACK WALNUT	JUGLANS NIGRA	(REMAIN)		
820	44" BLACK WALNUT	JUGLANS NIGRA	(REMAIN)		
821	16" NORWAY SPRUCE	PICEA ABIES	(REMOVE)	- 1	
822	24" BLACK OAK	JUGLANS NIGRA	(REMOVE)	- 1	
823	14" BLACK OAK	JUGLANS NIGRA	(REMOVE)	- 1	
824	28" BLACK OAK	JUGLANS NIGRA	(REMAIN)		
825	24" RED MAPLE	ACER RUBRUM	(REMAIN)		
826	26" TULIP	LIRODENDRON	(REMAIN)		
827	14" BLACK OAK	JUGLANS NIGRA	(REMAIN)		
828	18" BLACK OAK	JUGLANS NIGRA	(REMAIN)		
829	12" BLACK DAK	JUGLANS NIGRA	(REMOVE)	1	
			TOTAL	-	

(4) TOTAL REPLACEMENT TREES PROVIDED NOTING THAT THE EXISTING TREES TO BE REMOVED ARE SITE PLAN TREES (THREE OF WHICH ARE NO LONGER WABLE DUE TO COMPROMISED CONDITION).

NOTE: MAXIMIZE RADIUS OF TREE PROTECTION FENCE AS PRACTICABLE BASED ON SITE CONDITIONS AND CONSTRAINTS.







PROJECT

#### MINOR SITE PLAN

300 WITHERSPOON STREET BLOCK 6902 LOT 4 PRINCETON MERCER COUNTY, NEW JERSEY

#### SHEET TITLE: LANDSCAPE & TREE REMOVAL PLAN

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#### PERFORMANCE SUMMARY

Statistics									
Description	Symbol	Avg	Max	Min	MaxMin	Avg/Mir			
Parking	+	1.6 fc	8.3 fc	0.2 fc	41.5:1	8.0:1			

### GARY GAROFALO, LC PRINCIPAL

1216 Arch Street Suite 3A Philadelphia, PA 19107 p 215.569.2115 209 Philadelphia Avenue Egg Harbor City, NJ 08215 p 989.233.2662 27 West 24th Street Suite 607 New York, NY 10011 p 212.645.6040

Winds of the second CANOPY LED DOWNLIGHTS (TYP) (MT. AT EL. ±165.0 TYP.) 深湿、虚 S67'34'18'W 103.70' STATE AND IN 0.0 Adm page

### LIGHTING PLAN



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#### LIGHT FIXTURE SCHEDULE

Schedule									
Symbol	Label	Quantity	Manufocturer	Catalog Number	Description	Lemp	Number	Florane	Wetage
ê	FX1	3	Lithonia Lighting	KAD LED 30C 530 30K R4 MVOLT H8	KAD LED, 30 LED, 535WA MYOLT DRIVER, 3000K, TYPE 4 OPTICS WITH HOUSE SIDE SHELDS		1	KAD LED SEC SEC SEC SEC SWOLT_HE SE	63
ê	FX1A	4	Lithonia Lighting	KAD LED 30C 300 30K R2 MVOLT	KAD LED, 30 LED, 700trA MVOLT ORIVER, 3000K, TYPE 2 OPTICS.		1	KAD_LED_30C _700_30K_R2_ MVCLT les	co
ê	FX2	1	Lithonia Lighting	KAD LED SOC 700 SOK RA MVOLT	KAD LED, 30 LED, 700trA MVOLT CRIVER, 3000K, TYPE 4 OPTICS.		1	KAD_LED_SEC _700_30K_RK_ BRVOLTIME	CG CG
ô	FX2A	1	Lithonia Lighting	KAD LED 300 300 30K R2 MVOLT	KAD LED, 30 LED, 700trA MYCLT DRIVER, 3000K, TYPE 2 OPTICS.		1	KAD_LED_30G _700_30K_R2_ MVOLT Hes	co
ô	FX2B	1	Lithoria Lighting	MAD LED 30C 390 30K HS MVQLT	KAD LED, 30 LED, 700trA BRYOLT DRIVERS, 3000K, TYPE 3 OPTICS.		'	KAD_LED_SSC _700_30K_RS_ MWOLT His	60
â	FX3	4	Lithonia Lighting	WDGE2 LED P2 38K 68CRI VF	WDGB2 LED WITH P2 - PERFORMANCE PACKADE, SBOOK, BECRI, VISUAL COMPORT PORMAND OPTIC		1	WDS62_LED_P 2_30K_60CRI_ VP.les	14.53
	FX3A	2	Lithonia Lighting	WDGET LED PT 30K 60CRTVF	WDGE1 LED WITH P1 - PERFORMANCE PACKADE, 3000K, 80CHI, VISUAL COMPORT PORWARD OPTIC		1	WOSE1_LED_P 1_30K_BSCRI_ VP.les	4
0	FX4	3	Spectrum Lighting	SR3086- XT18LE1- RDObrook- MD-8W-5D	Nam. 3" Raund Davnlight, Deep prafile, Medium Bean	NA, 16nm	1	8P-00545_43 - 8R30Mx XT18LE1- HDD36-66K- MDMWSD les	16
0	FX4A	1	Spectrum Lighting	SR3086- XT10L-E1- R002x-xx4- MD-8W-90	Nam. 3" Round Downlight, Deep profile, Intedium Beam	NA, 19mm	1	SP-00545_43 - SRIDMo- XT10LE1- RDO2xxxXX- MDMWRD Ms	11.1

#### LEGEND

- + 0.2 EXISTING LIGHT LEVEL POINT (Fc) + 0.2 PROPOSED LIGHT LEVEL POINT (Fc)
  - EXISTING LIGHT FIXTURE
  - PROPOSED PARKING LOT LIGHT FIXTURE PROPOSED CANOPY LIGHT
- PROPOSED WALL MOUNT LIGHT

NOTES:

1. THIS LIGHTING PLAN ILLUSTRATES MAINTAINED ILLUMINATION LEVELS CALCULATED IN ACCORDANCE WITH ILLUMINATION ENGINEERING SOCIETY OF CALCULATED IN ACCORDANCE WITH ILLUMINATION DEGREERING SOCIETY NORTH AMERICA (ESNA) METHODOLOGY, ACTUAL STE ILLUMINATION, IN PERFORMANCE IS DEPENDANT ON OTHER FACTORS SUCH AS WEATHER CONDITIONS, VOLTAGE, MAINTENANCE AND OTHER VARIABLE CONDITIONS LIGHTING LEVELS INDICATED ON THIS PLAN SHOULD BE CONSIDERED ARREPOYMENT.

2. BEFER TO ARCHITECTURAL PLANS (OTHERS) FOR CONDUIT, WRING, POWER MIND CONTROLS, INSTALLATION SHALL BE PERFORMED IN ACCORDANCE WITH FINAL LIGHTING CONDUIT AND WING FLAN TO SUPPORT BUILDING PROPARE FOR THE PRINT APPLICATION IN ACCORDANCE WITH NEC REQUIREMENTS PROOF TO CONSTRUCTION.

4. REFER TO DETAILS AND OTHER PLAN SHEETS FOR ADDITIONAL LIGHTING NOTES ETC. 5. CONTRACTOR TO INCORPORATE HOUSE SIDE SHIELDS AS REQUIRED TO MEET ALLOWABLE LIGHT LEVEL REQUIREMENTS.



## 360 NASSAU STREET, SECOND FLOOR PRINCETON, NEW JERSEY 08540 PH. (609) 924-1091 FAX. (609) 924-1092



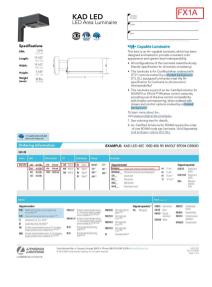
#### PROJECT

#### MINOR SITE PLAN

300 WITHERSPOON STREET BLOCK 6902 LOT 4 PRINCETON MERCER COUNTY, NEW JERSEY

#### LIGHTING PLAN

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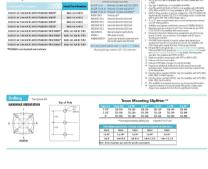
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MARQUATE

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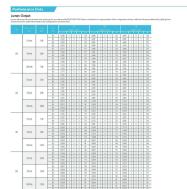
One Unhone Way • Conyers, Georgia 50012 • Phone 880-785-9289 (TOTR) • www.liftoma.com © 2013-2021 Austy Brands Lighting, Inc. 48 rights necessed



Stock configurations are offered for shorter lead times:

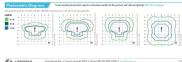


PARKING LOT LIGHT FIXTURE 'FX' **DETAILS** 









REFER TO DETAIL SHEETS FOR LIGHT POLE/BASE DETAIL (TYP).

LIGHTING PLAN PREPARED BY:

GARY GAROFALO, LC PRINCIPAL

1216 Arch Street Suite 3A Philadelphia, PA 19107 p 215.569.2115 209 Philadelphia Avenue Egg Harbor City, NJ 08215 p 888 233 2562 27 West 24th Street Suite 507 New York, NY 10011 p 212 645,6040



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JIMOKENSHORESOURCES.COM

PROJECT-

SHEET TITLE:

MINOR SITE PLAN

300 WITHERSPOON STREET BLOCK 6902 LOT 4

PRINCETON MERCER COUNTY, NEW JERSEY

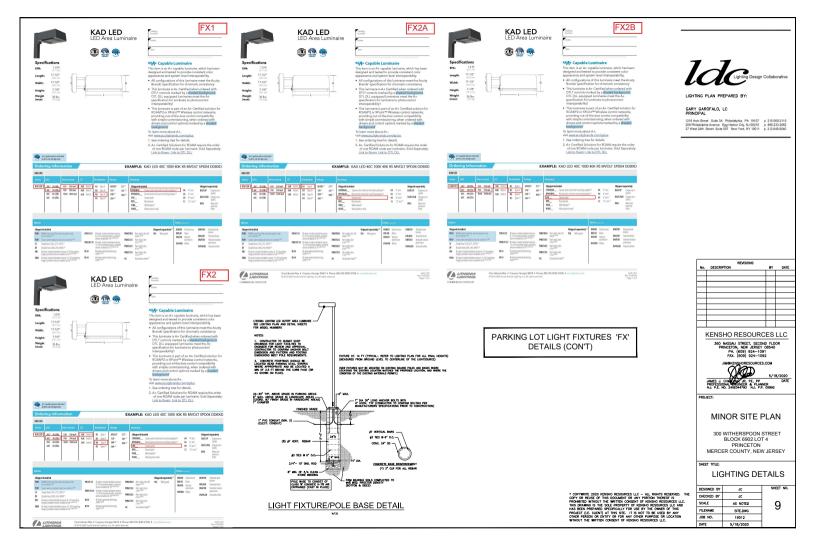
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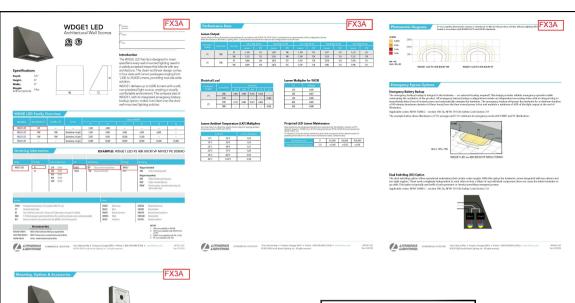
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WALL MOUNT LIGHT FIXTURE 'FX3A'

**DETAILS** 

MINOR SITE PLAN

PROJECT-

GARY GAROFALO, LC PRINCIPAL

1216 Arch Street Suite 3A Philadelphia, PA 19107 p 215,569,2115 209 Philadelphia Avenue Egg Harbor City, NJ 08215 p 869,233,2662 27 West 24th Street Suite 507 New York, NY 10011 p 212,545,6040

REVISIONS DESCRIPTION

KENSHO RESOURCES LLC 360 NASSAU STREET, SECOND FLOOR PRINCETON, NEW JERSEY 08540 PH. (609) 924-1091 FAX. (609) 924-1092 JIMOKENSHORESOURCES.COM

DATE

300 WITHERSPOON STREET BLOCK 6902 LOT 4

PRINCETON MERCER COUNTY, NEW JERSEY

LIGHTING DETAILS

DESIGNED BY	MF	SHEET NO.
CHECKED BY	JC	
SCALE	AS NOTED	10
FILENAME	SITE.DWG	10
JOB NO.	19012	
DATE	5/18/2020	

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WDGE2 LED Architectural Wall Sconce **@** 

Introduction
The WINGE LED family is designed to meet specified severy reall-incorated lighting relead in a videly accepted shape that blinds with any activations. The claim rectifiers adopt consense activation along consense and the consense of the cons

energy swings and code complemes. WDCSE2 delivers up to 6,000 kmers with a soft, non-picelited light source, creating a visually conflictable environment. When combined with multiple integrated emergency battery backup option, including as 18M cold temperature option, the WDCSE2 becomes the cheel wait-mounted lighting southern for podestrian scale applications in any environment.

	verview									
06098-207		Name .								
		-	1,290	2,000				-		
ī	ten	Standalose / stight	1,290	5300	1,000	458	6,000	-		
ī	100	Standaloss / sEight	7,500	1,500	10,000	12,606	-	-		
ī	-	Standalone / nEight	12,000	15,000	15,000	30,000	22,800	25,000		
0	n /			EXAMPL	E: WDGE2 I	ED P3 40K 8	IOCRI VF MV	OLT DDBX		

901B			NCB NCB	W Soutenbri Smot Sew VW Soutenbri with	3471 4807	Shippet included SAM Surface trouving \$40.0d.	BEN So	erstrig nch lentectual wall space face countrid sold loss nion serface enumbed lock in july higher soulub entry (
M 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0	inegen y fasteyiba kigi, T.S. complant (AR, T.C. mai) inegen barrey belay (J.S. complant (AR, T.C. mai) inegen barrey belay (J.S. complant (AR, T.C. mai) inequal barrey belay (J.S. complant (AR, T.C. mai) into all barrey belay (J.S. complant (A.S. complant	PR PRICE PRIC PRICE PRICE PRICE PRICE PRICE PRICE PRICE PRICE PRICE PRICE PRIC	B-lost   painted B-lost   pagam B-lost   pagam	signification and the second of the common and the	it'mundique lant-cellitrig. -10'mundique lant-cellitrig to'mundique -10'mundique estara total.	eighs, hanned throu en pravet platoolips- light with plotoolips-	0003 0000 0000 0000 0000 0000 0000 000	Database Bax Konsideribum Nitra Sentrare Sentrare Sentrare Nata Sentrare William Sentrare William



AWS - 2/Binch Architectural Wall Spacer





FX3











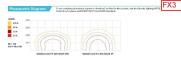
H/HW	XW	- 17	1,86	18	1,000	TD)	US	136	1,296	129	1,134	12
none	AM.	w	3,707	123	130	TN	1,294	100	1,289	120	1,266	12
20/20W	256	- 15	1,63	129	1,967	104	500	139	1393	109	768	- 19
PLC-POPE	1041	w	1,607	10	1,907	TO	500	10	205	140	201	54
ROBBY.	298	- 15	3,98	129	3005	101	T116	108	7.03	108	1,136	12
EL CATION	- 04	w	3,90	10	3,000	107	1,200	10	1.70	140	1,3%	14
н	296	- 15	43%	10	-067	171	4394	106	440	106	440	12
	200	w	4392	138	437	125	4,502	129	4.5%	129	430	12
8	91	- 45	5,567	116	5,712	TH	5902	100	3993	124	5,994	124
n en	W	5270	110	5.93	100	613	135	681	127	618	125	

ical Lo	ad							Lumen Multi	plier for 900
								603	
			20%				4500	290	0.885
PEW	396	6,600	0.049	660	600	-	- 1	300	0.807
	736	-	-	-	-	5.86	A403	290	0.085
229V	254	6.10	con	600	1,164	-	000	400	0.85
row	105	-	-	-	-	1.856	KH0	300	0.892
row	238	6.76	6114	638	000	-	-		
cox	305	-	-	-	-	1,075	1.052		
N	28	6,302	6175	6.253	1633	-	-		
	386	~	-	-	-	AT5	1.186		

ent Tereperature (LAT) Multipliers deproduction bears output for service arbitrat 457(5):5147			Projected LED Lumen Maintenance Data silver on the antiquided pathorners projectors by if project young or \$1,000 from or \$20 being president Edit		
		Lower Workspiler	To calculate U.E. use the luman maintains or appoint from halour Expended a por-		
	32%	1.03	Operating House		25,000
	507	1.02		-0	
1	68%	1.01	Carnels Maintenance Factor	3.6	>0.56
1	75%	1,00			
	86%	0.99			
1	1847	0.98			







Emergency Battery Backup

The emergency battery lacking is integral to the inclusion—one external bussian propried This design provides relates emergency operators water maintaining for excellent of the province. All emergency better booking on being surface includes a freedingender accordance driver with an inclusion principal relate to termediately detect loan of normal power and automatically emerging the hardwales. The emergency battery will power the hardwales and enablement designed and an inclusion of the anti-batter designed and the anti-batter designed and the surface of the anti-batter designed and the an Applicable codes: NFPA 75/NEC – section 700.16, NFPA 101 Life Safety Code Section 7.9

The examples below show illuminance of 1 fc average and 0.1 fc minimum in encorprecy mode with E10WH or E20WC and VF distribution





Dual Switching (DS) Option

Dual Switching (ISS) Option

The dual witching spitch offers operational sockardancy that contain codes require. With this option the hardwarks crosses brings and with two different seed two light regimes. These seeds completely independent to each other to other a fallow of any individual component does not cause the whole hardwarks to good set. This option is figurally seed without backgreement or inventer providing energency power. Arminolder codes: MITA 2008FC - section 20016, MITA 2011 (in Safety Code Section 7.9)



LITHONEA COMMERCIAL OUTDOOR On Liferis Way • Coryen, Georgia 2002 • Proces • 1600 TISSERY (FIDE) • Investmentation 

### SECTION And Fords Spring for All of the second.

WALL MOUNT LIGHT FIXTURE 'FX3' **DETAILS** 



360 NASSAU STREET, SECOND FLOOR PRINCETON, NEW JERSEY 08540 PH. (609) 924-1091 FAX. (609) 924-1092



PROJECT-

GARY GAROFALO, LC PRINCIPAL

1216 Arch Street Suite 3A Philadelphia, PA 19107 p 215,569,2115 209 Philadelphia Avenue Egg Harbor City, NJ 08215 p 869,233,2662 27 West 24th Street Suite 507 New York, NY 10011 p 212,545,6040

MINOR SITE PLAN

300 WITHERSPOON STREET BLOCK 6902 LOT 4

PRINCETON MERCER COUNTY, NEW JERSEY

SHEET TITLE:

LIGHTING DETAILS

DESIGNED BY .ic CHECKED BY JC AS NOTED FILENAME SITE.DWG JOB NO. 19012 DATE 5/18/2020

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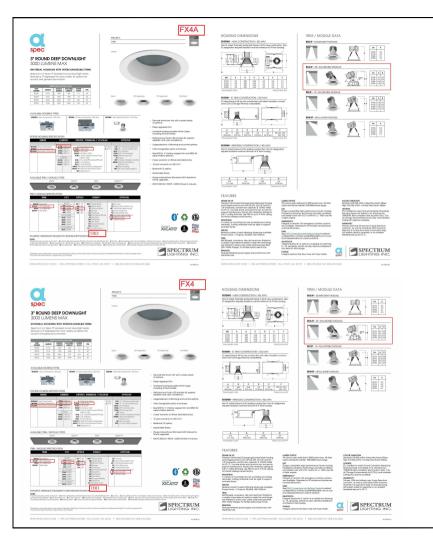








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1216 Arch Street Suite 3A Philadelphia, PA 19107 p 215.569.2115 269 Philadelphia Avenue Egg Harbor City, NJ 08215 p 869.233.2662 27 West 24h Street Suite 507 New York, NY 10011 p 212.645.6040

DOWNLIGHT FIXTURE 'FX4 / FX4A' DETAILS



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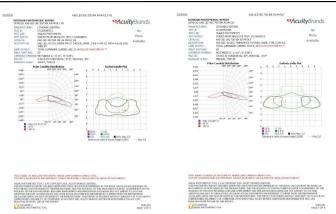
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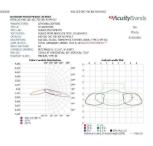
#### MINOR SITE PLAN

300 WITHERSPOON STREET BLOCK 6902 LOT 4 PRINCETON MERCER COUNTY, NEW JERSEY

### LIGHTING DETAILS

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#### LIGHT FIXTURE PHOTOMETRIC PLOT DETAILS

CITATION FOR

www.trusi-3dcom/bolisthotometric-larver/default-appr?assstanich-201294 www.trusi-3dcom/bolistholometric-inventional tapo?sensinid=02297

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MAD LED JOC 700 30K RM MYCLT
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\*CUTOPP CLASSIPICATION AND EMPLICATION OWNERS IS IN CHIRALY CALCULATED FOR ARRICLATE PHOTOMETRY.

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ROAZMAY (LASS) NOMENAL 3" ROUND DOWNLIGHT, DEEP PROFILE, MEDILIP BEAM NAME, MIN. 83 CRE NA TOTAL LUMBNARE LUMBNS: 945, ADSOLUTE PHOTOMETRY\* Polar Condela Distribution Sufrestcondle Plot 1,133 -0°H

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DESCRIPTION KENSHO RESOURCES LLC

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JIMOKENSHORESOURCES.COM

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MINOR SITE PLAN

300 WITHERSPOON STREET BLOCK 6902 LOT 4 PRINCETON MERCER COUNTY, NEW JERSEY

LIGHTING DETAILS

DESIGNED BY	JC	SHEET
CHECKED BY	JC	
SCALE	AS NOTED	1 1:
FILENAME	SITE.DWG	١,
JOB NO.	19012	
DATE	5/18/2020	1